

# MAPLE RIDGE CREEK VILLAGE CONDOMINIUM ASSOCIATION POLICIES

**POLICY NUMBER:** MRC008 A  
**POLICY TITLE:** PORCH AND DECK MAINTENANCE  
OR REPLACEMENT  
**POLICY ADOPTED:** 5/8/2000  
**POLICY REVIEWED:** 6/23/21; 1/9/22; 11/1/22  
**POLICY REVISED:** 7/14/21; 6/19/23

## **POLICY STATEMENT:**

Decks and porch landings, including those of a composite material, must be maintained periodically by the co-owner in order for their appearance to comply with applicable community standards. **The Association reserves the right to determine when the condition of a porch or deck requires maintenance.**

### **1. Porches**

- A. The exterior of porches, unless covered with vinyl, must be maintained by painting, which must match the trim color of the unit.

### **2. Deck and Porch Landing/Stair Stain —**

Decks, steps and posts must be maintained by using a transparent, semi-transparent (sometimes called a toner) or a solid **stain that must result in a darker cedar tone finish.** All other colors/tones such as redwoods, oranges, grays, blacks, reds, whites, and blues are NOT permitted. If there is a question regarding color, contact the Management Company for approval. Products such as Behr (Deckover), Olympic (Rescue It) and Rust-oleum (Deck Restore) are NOT permitted.

**NOTE:** Depending on preparation and the weathered condition of the porch, deck, steps and posts, transparent, semi-transparent, or solid stains will each produce a distinct and unique tone, which may or may not result in the expected finish. TEST stain in an inconspicuous spot on the deck.

### **3. Deck Floor, Porch Landings, Railing, Stair Repair —**

#### **A. The following may be performed without a Permit from the city of Rochester:**

- 1. Only deck or porch landing floors may be replaced with same material
- 2. Portions of a railing or stairs may be repaired using the same material

#### **B. The following requires a Permit from the City of Rochester.**

- 1. Total new deck, railings, stairs, supporting substructure (if needed ) or porch landings are being installed using the same materials as the existing. **A Modification Request is also required.**

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2. If a total new deck, railings, stairs, supporting substructure (if needed ) or porch landings are being installed using materials that are different than the existing, a **Modification Request is required per below.**

**With Modification Request approval, composite materials may be used when replacing an entire deck or porch landing. (See policy MRC008C for Composite Deck requirements.)**

**The obligations under this policy shall run with the unit and shall be binding upon any successors or assigns of the unit.**

# MAPLE RIDGE CREEK VILLAGE CONDOMINIUM ASSOCIATION POLICIES

**POLICY NUMBER: MRC008 B**

**POLICY TITLE: STONE STEPS OFF ENCLOSED PORCH**

**POLICY ADOPTED: 11/21/2016**

**POLICY REVIEWED: 6/23/2021; 11/1/2022**

**POLICY REVISED: 7/16/2021**

Co-owners may replace the wooden step(s) off an enclosed ranch porch with a stone step(s) that meets the City code and is compliant with design/construction guidelines. Reference the design features and the design layout sheet labeled illustrations for MRC Policies 029A and 029B.

1. The stone step(s) shall be 4 feet wide and 12 inches step tread to grade level.
2. The step height (rise) cannot exceed 7.5 inches.

See Illustration.

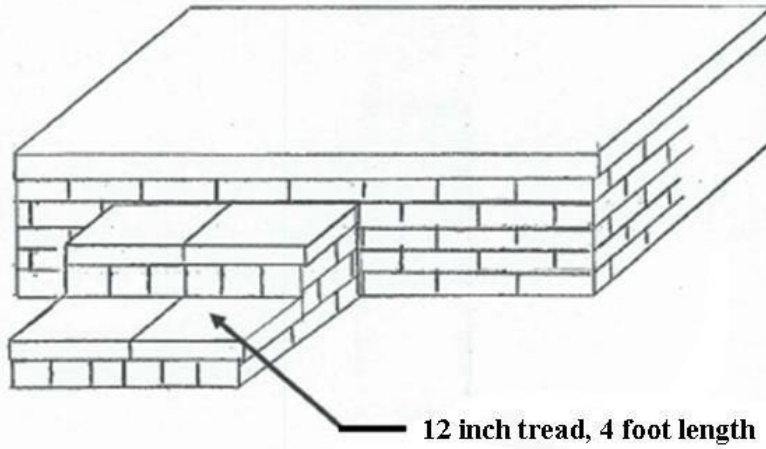
**The Co-owner shall also comply with the following requirements:**

1. A detailed drawing shall be submitted with the modification request.
2. The stone step shall be professionally installed by a licensed and ensured contractor. Owner may want to use an ICPI (International Concrete Paver Institute) certified contractor.
3. The co-owner shall provide the contractor with a copy of this policy and the drawings specific to their unit.
4. Deviations from the design/construction guidelines require board approval.
5. The co-owner is responsible for the wooden step removal and any repairs resulting from that removal.
6. The co-owner is responsible for step maintenance.
7. Sprinkler heads that interfere with the step construction shall be moved at the coowner's expense and approved by the irrigation committee.
8. The obligations under this policy shall run with the unit and shall be binding upon any successors or assigns of the unit. The co-owner shall pay the cost of recording a copy of the Modification and Alteration Agreement.

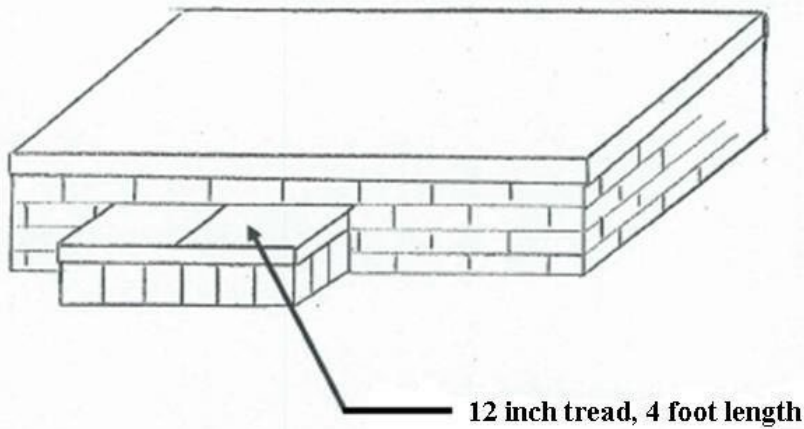
**NOTE: Co-owners must submit a MODIFICATION REQUEST FORM, a MODIFICATION AND ALTERATION AGREEMENT, and DETAILED DRAWINGS to the Management Company. APPROVAL must be obtained PRIOR to having this work started.**

# MAPLE RIDGE CREEK VILLAGE CONDOMINIUM ASSOCIATION POLICIES

**Option One: Enclosed Porch Steps**



**Option Two: Enclosed Porch Step**



## CONDOMINIUM POLICIES

**POLICY NUMBER:** MRC 008C  
**POLICY TITLE:** COMPOSITE DECK REPLACEMENT  
**POLICY ADOPTED:** 5/2021  
**POLICY REVIEWED:** 8/2022  
**POLICY REVISED:** 8/24/22; 6/19/23

The purpose of this policy is to retain the consistency, compatibility and look of the MRCV existing and new decks or porch landings while maintaining the viability of MRCV with the current life styles of the City of Rochester.

This policy identifies the requirements for replacing current decks or porch landings with a composite material. Style, design, and color choices have been limited to maintain consistency between composite decks/porch landings and existing wood decks/porch landings.

### **POLICY STATEMENT:**

Composite material decks or porch landings must be maintained periodically by the co-owner in order for their appearance to comply with applicable community standards. **The Association reserves the right to determine when the condition of a porch or deck requires maintenance.** (See MRC008A regarding maintenance)

### **Replacement —**

1. A deck, railings, stairs, substructure (if needed), or porch landing are being completely replaced, a **Permit is required from the City of Rochester.** A copy of the approved permit at closeout must be provided to AMI on project completion.

**NOTE:** Per MRC008A 3.A.1, Only deck or porch landing floors may be replaced with existing material without a Permit from the city..

2. Work must be performed by a licensed and bonded contractor.
3. Replacement deck surface, porch landing, stairway and railings outside dimensions must be identical to the original and maintain their existing footprint. (Ref. Illustration 2 in this policy.)
4. Structure design must match design of the original deck as close as reasonably possible. Deck surface may be laid in a straight pattern parallel to the living room doorwall or a 45° diagonal pattern from the door wall. (Ref. Illustration #1 in this policy.)
5. The entire deck surface must be the same color. Patterns, other than those described on number 4. above, and designs are NOT permitted.
  - A. If construction dressing requires a surface outline trim, (under the railing), it may be no wider than the railing posts must be the same color as the surface.

B. If construction dressing requires a trim or skirt at the post bases, it must be minimal in size and the same color and material as the posts.

**6. Deck color —**

Color should be in the medium-brown range and will be subject to board approval. No orange, beige, gray, white, blue, etc.

**7. Railings, posts, spindles and fascia must be of similar design to original design as referenced in Illustration #1 in this policy.**

**Railings & Caps—**

A. Railings may be of a similar composite material or metal. **Composite railings** must be a similar medium-brown color as the deck surface. **Metal railings** may be a similar medium brown color as the deck surface, bronze or black.

B. Railings may have a flat top (cocktail rail) rail, or regular top handrail for both composite or metal railing systems.

**On composite railings**, no post caps are allowed except at the end of the rail on the posts either side of step-down leading to the stair landing, or top of stairs if no landing exists, and on the two bottom posts of the stair rails. These **4 caps MUST** be low profile and the smallest size available for the 4 posts they cover. Both the flat top rail and caps must be of a similar composite material and medium-brown color as the deck.

**On metal railings**, the same 4 low profile caps are allowed at the stair locations, and 4 additional caps are allowed, one on each post either side of the two oblique angle sections of railing required by the deck surface configuration. These 8 caps must be the same color as the railing.

**See illustration #3 for the allowed post cap locations for the above described composite and metal railing systems.**

**Posts —**

A. **Composite posts** (post cover) must be approximately 4-inch square and of the same medium-brown color as the rails and deck, and same similar composite material as rails. **Metal posts** may be 3 or 4-inches square and must be the same color as the railings.

**Spindles —**

A. Spindles for composite railing systems may be of a similar composite material as the rails and posts, or may be metal..

1. Composite spindles must be the same medium-brown color as the rails and posts or black, and should measure approximately 1-1.5 inches square with a straight profile per illustration #1 in this policy.

2. Metal spindles may be medium-brown color similar to the deck, rails and posts or

Bronze or black, and measure approximately 1-inch in diameter with a straight profile.

B. Spindles for metal railing systems must be the same metal and color as the railings and posts, and measure approximately 1-inch in diameter with a straight profile.

**Fascia —**

A. Fascia material must match deck color and have a max depth of 12 inches

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8. Boring holes through foundation is not permitted.
9. Any building brick damage incurred during deck removal and reconstruction must be repaired at the co-owner's expense. MRCV Association is not responsible for future basement water leaks caused by improper brick and mortar repair.

**An MRCV Modification Request form must be submitted AND APPROVED before beginning work.**

**The Modification Request Form must include the following:**

1. Completely filled out, signed and date MRC Modification Request Form
  - A. Make sure both "Exterior Appearance" and "Structural" are both checked under "Requested Modification."
  - B. The "MRC Policy Number that Applies" MUST be filled in with this policy number MRC008C
  - C. Under "Explanation of Modification," a complete written description must include the type of deck, railings (flat cocktail rail or capped posts), spindles and stairs or porch landing and stairs and include color, material being used, brand or manufacturer, and whether the supporting structure is being replace or altered in any manner.
  - D. Provide the name and phone number of the licensed and bonded contractor performing the work.
  - E. Carefully read and preform all actions (if required) in items numbered 1-9 on the Modification Request Form.
  - F. Sign and date.
2. Attach the following materials to the completed Modification Request Form:
  - A. Illustration #1 in this policy and indicate whether the deck or porch landing will be designed as shown with a 45° diagonal deck pattern or a parallel pattern. If using a parallel pattern, it **MUST** run parallel to the living room doorwall. Initial sheet after indicating deck or porch landing pattern.
  - B. Illustration #2 in this policy with a check mark next to the deck or porch landing plan that matches your existing deck or porch landing that contractor will be replicating, indicate the number to stairs in the space provided, and initial.

**NOTE:** Dimensions in Illustration #2 specified as "Max" cannot be exceeded. Any other specific construction details in Illustrations #2 must be included on this sheet.

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- C. The manufacturer's color brochure indicating the selected type and color of the deck composite material, rails (cocktail rail) 4 post caps, spindles(metal or composite, and color (medium-brown or black), and fascia being used.

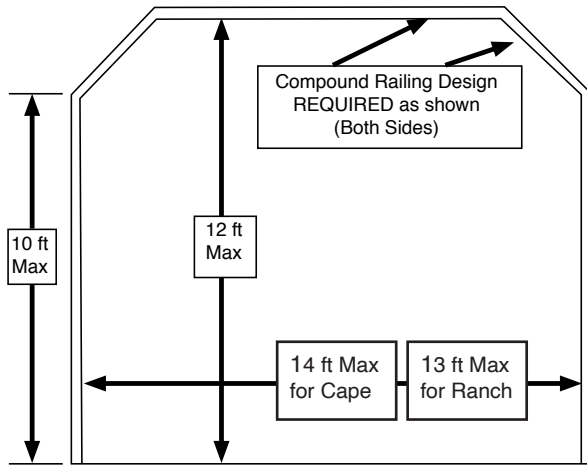
Include model and part numbers where possible for the above items.

3. An actual color sample of the proposed composite deck and, if possible, rail and spindle samples must accompany this Modification Request Form.

**The obligations under this policy shall run with the unit and shall be binding upon any successors or assigns of the unit.**



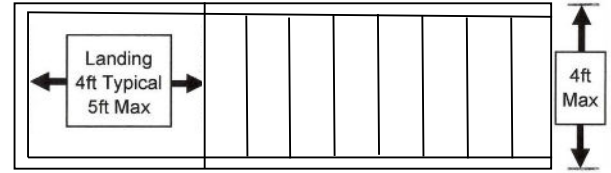
## DECK CONFIGURATION FOR CAPE OR RANCH



## ILLUSTRATION #2

Maple Ridge Creek Village  
MRC Deck & Stair / Porch Landing Configuration  
Max Dimensions Shown Cannot be Exceeded

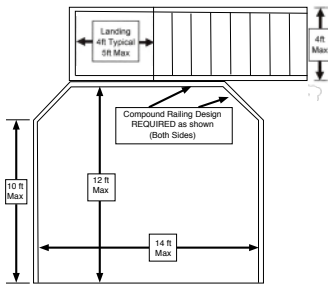
### STAIR / PORCH LANDING CONFIGURATION



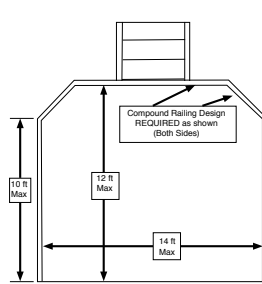
**NOTE: ALL stair / porch landings are a stepdown from deck or doorway.**

### CAPE DECK CONFIGURATIONS

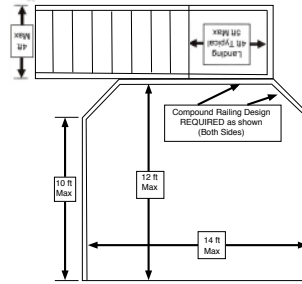
Please confirm your existing deck configuration with a X, indicate the number of steps and initial in the spaces below.



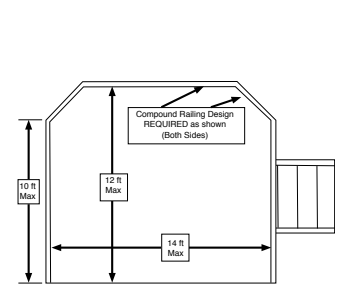
DECK \_\_\_\_\_  
STEPS \_\_\_\_\_  
INITIALS \_\_\_\_\_



DECK \_\_\_\_\_  
STEPS \_\_\_\_\_  
INITIALS \_\_\_\_\_



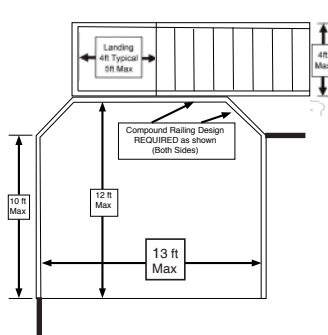
DECK \_\_\_\_\_  
STEPS \_\_\_\_\_  
INITIALS \_\_\_\_\_



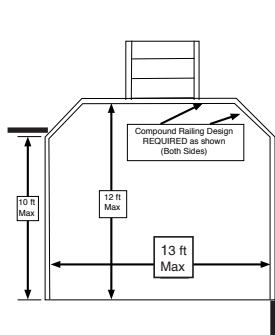
DECK \_\_\_\_\_  
STEPS \_\_\_\_\_  
INITIALS \_\_\_\_\_

### RANCH DECK CONFIGURATIONS

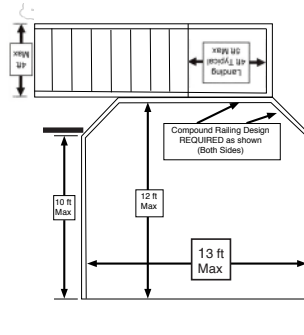
Please confirm your existing deck configuration with a check mark, indicate the number of steps and initial in the spaces below.



DECK \_\_\_\_\_  
STEPS \_\_\_\_\_  
INITIALS \_\_\_\_\_



DECK \_\_\_\_\_  
STEPS \_\_\_\_\_  
INITIALS \_\_\_\_\_

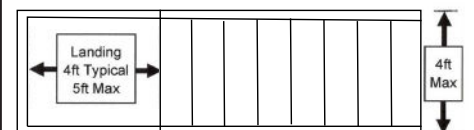


DECK \_\_\_\_\_  
STEPS \_\_\_\_\_  
INITIALS \_\_\_\_\_

### PORCH LANDING CONFIGURATION BELOW

Please confirm your existing porch landing configuration with an X, indicate the number of steps and initial.

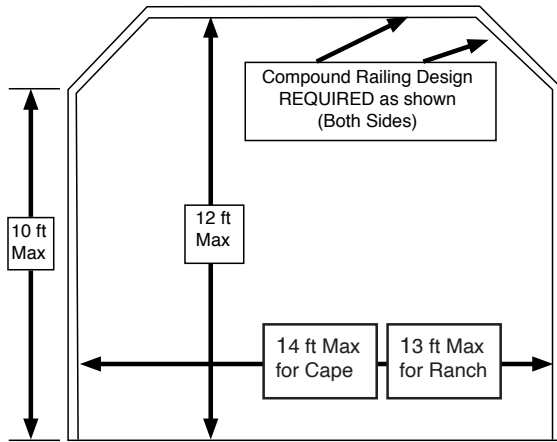
LANDING \_\_\_\_\_  
STEPS \_\_\_\_\_  
INITIALS \_\_\_\_\_



### NOTE:

Ranch deck maximum dimensions are dictated by exterior wall position —  
The deck may NOT EXCEED the outer livingroom wall or 13ft max as shown.

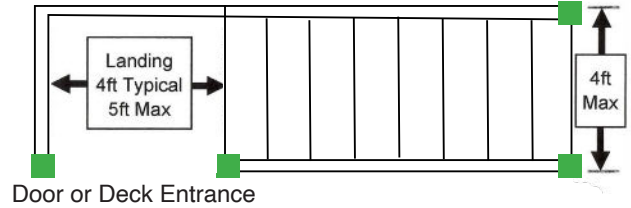
## DECK & RAILING CONFIGURATION FOR CAPE OR RANCH



## ILLUSTRATION #3

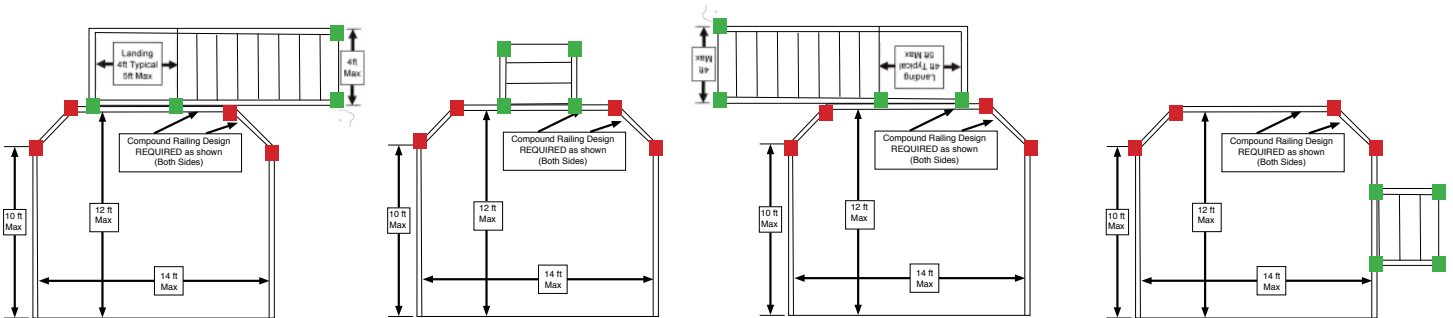
Maple Ridge Creek Village  
MRC Deck & Stair / Porch Landing  
**Allowable Post Cap Locations**

### STAIR / PORCH LANDING 4 Post Cap Locations for Composite or Metal Railing Systems



## CAPE DECK CONFIGURATIONS

**4 Allowed Post Cap Locations for Composite Deck Railing Systems (in Green)**  
**4 Additional Allowed Post Cap Locations for Metal Deck Railing Systems ONLY (in Red)**



## RANCH DECK CONFIGURATIONS

**4 Allowed Post Cap Locations for Composite Deck Railing Systems (in Green)**  
**4 Additional Allowed Post Cap Locations for Metal Deck Railing Systems ONLY (in Red)**

