

MAPLE RIDGE CREEK VILLAGE CONDOMINIUM ASSOCIATION POLICIES

POLICY NUMBER: MRC008 A
POLICY TITLE: PORCH AND DECK MAINTENANCE
OR REPLACEMENT*
POLICY ADOPTED: 5/8/2000
POLICY REVIEWED: 1/9/2022;6/23/ 2021; 11/1/2022
POLICY REVISED: 7/14/ 2021

POLICY STATEMENT:

1. Decks and screened porches, including those of a composite material, must be maintained periodically by the co-owner in order for their appearance to comply with applicable community standards. The Association reserves the right to determine when the condition of a porch or deck requires maintenance.
2. The exterior of screened porches, unless covered with vinyl, must be maintained by painting, which must match the trim color of the unit. [Cross reference – See policy number MRC012.]
3. Decks, steps and posts must be maintained by using a transparent, semi-transparent (sometimes called a toner) or a solid stain that must result in a darker cedar tone finish. All other colors/tones such as redwoods, oranges, grays, blacks, reds, whites, and blues are NOT permitted. If there is a question regarding color, contact the Management Company for approval.
4. Products such as Behr (Deckover), Olympic (Rescue It) and Rust-oleum (Deck Restore) are NOT permitted.
5. Depending on preparation and the weathered condition of the porch, deck, steps and posts, transparent, semi-transparent, or solid stains will each produce a distinct and unique tone, which may or may not result in the expected finish.
6. With prior approval, composite materials may be used when replacing deck components or an entire deck. (See policy MRC008C for detailed composite deck requirements.) The co-owner must submit a sample of the composite material (color must be a darker cedar tone), the deck design, and specifications to the Management Company for Board approval.
 - All railings must be contemporary in style and match the composite deck color as close as possible.
 - Deck footprint must be identical to the original deck, and deck design must match the design of the original deck as closely as is reasonably possible.
7. **The obligations under this policy shall run with the unit and shall be binding upon any successors or assigns of the unit.**

***NOTE: If a composite material is being used, co-owners must submit a MODIFICATION REQUEST FORM and a SAMPLE OF COMPOSITE MATERIAL to the Management Company. APPROVAL must be obtained PRIOR to work starts.**

MAPLE RIDGE CREEK VILLAGE CONDOMINIUM ASSOCIATION POLICIES

POLICY NUMBER: MRC008 B
POLICY TITLE: STONE STEPS OFF ENCLOSED PORCH
POLICY ADOPTED: 11/21/2016
POLICY REVIEWED: 6/23/2021; 11/1/2022
POLICY REVISED: 7/16/2021

Co-owners may replace the wooden step(s) off an enclosed ranch porch with a stone step(s) that meets the City code and is compliant with design/construction guidelines. Reference the design features and the design layout sheet labeled illustrations for MRC Policies 029A and 029B.

1. The stone step(s) shall be 4 feet wide and 12 inches step tread to grade level.
2. The step height (rise) cannot exceed 7.5 inches.

See Illustration.

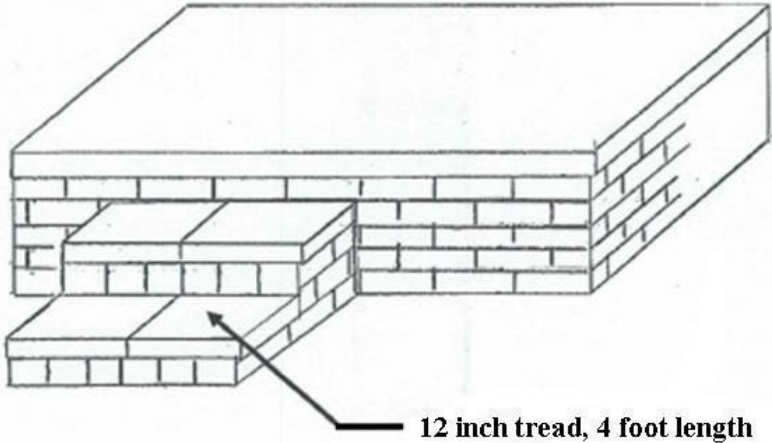
The Co-owner shall also comply with the following requirements:

1. A detailed drawing shall be submitted with the modification request.
2. The stone step shall be professionally installed by a licensed and ensured contractor. Owner may want to use an ICPI (International Concrete Paver Institute) certified contractor.
3. The co-owner shall provide the contractor with a copy of this policy and the drawings specific to their unit.
4. Deviations from the design/construction guidelines require board approval.
5. The co-owner is responsible for the wooden step removal and any repairs resulting from that removal.
6. The co-owner is responsible for step maintenance.
7. Sprinkler heads that interfere with the step construction shall be moved at the coowner's expense and approved by the irrigation committee.
8. The obligations under this policy shall run with the unit and shall be binding upon any successors or assigns of the unit. The co-owner shall pay the cost of recording a copy of the Modification and Alteration Agreement.

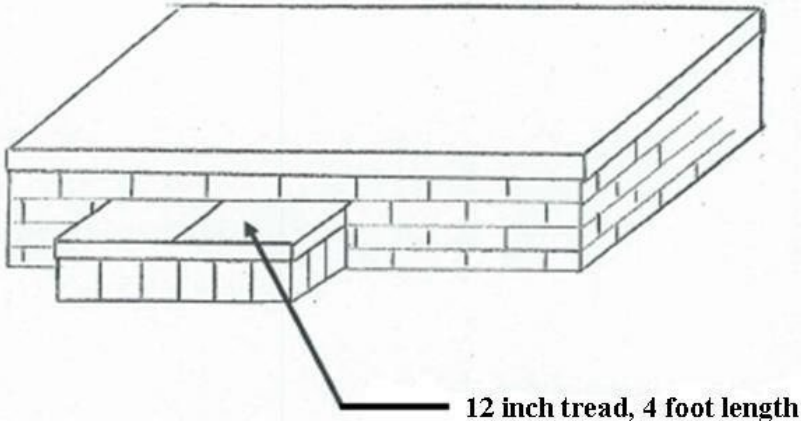
NOTE: Co-owners must submit a MODIFICATION REQUEST FORM, a MODIFICATION AND ALTERATION AGREEMENT, and DETAILED DRAWINGS to the Management Company. APPROVAL must be obtained PRIOR to having this work started.

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Option One: Enclosed Porch Steps



Option Two: Enclosed Porch Step



MAPLE RIDGE CREEK VILLAGE CONDOMINIUM ASSOCIATION POLICIES

POLICY NUMBER: MRC 008C
POLICY TITLE: COMPOSITE DECK REPLACEMENT
POLICY ADOPTED: 5/2021
POLICY REVIEWED: 8/2022
POLICY REVISED: 8/24/2022

This policy identifies the requirements for replacing or renewing current deck or porch landing with a composite material deck or landing. Style, design dimensions and color choices have been limited to maintain consistency between composite decks and existing wooden decks.

POLICY STATEMENT:

1. Composite material decks must be maintained periodically by the co-owner in order for their appearance to comply with applicable community standards. The Association reserves the right to determine when the condition of a porch or deck requires maintenance.
2. If this is a complete deck replacement, (Ref. 5.5.1)
 - 2.1. Work must be performed by a licensed and bonded contractor.
 - 2.2. A Rochester City construction permit must be obtained, and a copy of the approved permit provided to AMI on project completion.
 - 2.3. Boring holes through foundation is not permitted.
 - 2.4. Any building brick damage incurred during deck removal and reconstruction must be repaired at the co-owner's expense. MRCV Association is not responsible for future basement water leaks caused by improper brick and mortar repair.
3. Replacement deck surface, porch landing, stairway and railing outside dimensions must be identical to the original. (Ref. Illustration 2 in this policy.) Design must match design of the original deck as closely as is reasonably possible. (Ref. Illustration 1 in this policy.)
4. The entire deck surface must be the same color. Patterns and designs are NOT permitted.
 - 4.1. If construction dressing requires a surface outline trim, (under the railing), It may be no wider than the railing posts and can be either the surface color or the fascia/railing color.
 - 4.2. If construction dressing requires a trim or skirt at the post bases, they must be minimal in size and the same color and material as the posts.
5. An MRCV Modification Request form must be submitted AND APPROVED before beginning work. The Modification Request must include the following:
 - 5.1. A diagram of the planned installation. (A marked copy of Illustration 2 in this policy, showing contractors actual planned dimensions, is adequate.)
NOTE: Dimensions in Illustration 2 specified as "Max" cannot be exceeded. All construction details in Illustrations 1 and 2 must be included in the design.

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- 5.2. Under “Requested Modification” both “Exterior Appearance” and “Structural” must be checked.
- 5.3. The “MRC Policy Number that Applies” MUST be filled in with this policy number.
- 5.4. “The work will be performed by:” line must at least include the company name, an individual that can be contacted, and a phone number.
 - 5.4.1. A company that has completed several quality installations at MRCV and the surrounding area is “LARS DAVID Incorporated.” 10540 Enterprise Dr., Davisburg, MI 48350. (248) 625-9501. In addition to wooden decks, they have successfully installed composite decks using Evolve material in Nutmeg color that most closely mimics MRCV existing decks in design and color.
- 5.5. “Explanation of Modification” must contain at least the following information.
 - 5.5.1. Is this a complete deck replacement, (entire deck and supporting structure replaced), or a partial reconstruction, (include elements being replaced – deck surface, railing, stairs, landing, etc.)
NOTE: If ALL elements are being replaced – deck surface, railing, stairs, landing, etc., the Mod Request will be considered a complete deck replacement subject to requirements of item 2 in this document.
 - 5.5.2. Deck surface material, color, manufacturer model number and part number. A sample of the composite material and a manufacturer color brochure must be included with the Modification Request. Colors should be in the medium-brown range and will be subject to board approval. No orange, beige, gray, white, blue, etc.
 - 5.5.3. Railings and spindles must be of contemporary design with straight spindles. Railings and spindles may be of the same composite material or metal. Spindles should measure 1-1.5 inches. Rails should have flat tops and posts must be approximately 3-inch square. Railings and spindles must match deck color as closely as possible. If metal rails and spindles are installed, they also must be close to deck color or may be black. Fascia material must match deck color. Railing and fascia material, color, manufacturer model number and part number must be included in the modification request. Also, a sample of the composite material and color brochure must be included.
6. The obligations under this policy shall run with the unit and shall be binding upon any successors or assigns of the unit.

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All railings must be contemporary in style, as shown in Illustration 1, and match the composite deck color as close as possible. Illuminated components are NOT allowed.

ALL RAILING COMPONENTS MUST BE SAME COLOR.

Flat top rail. Post caps above rails are NOT allowed.



Square spokes
1 to 1.5 in

Straight Facia
Max. Height 12 in

ILLUSTRATION 1

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ILLUSTRATION 2

